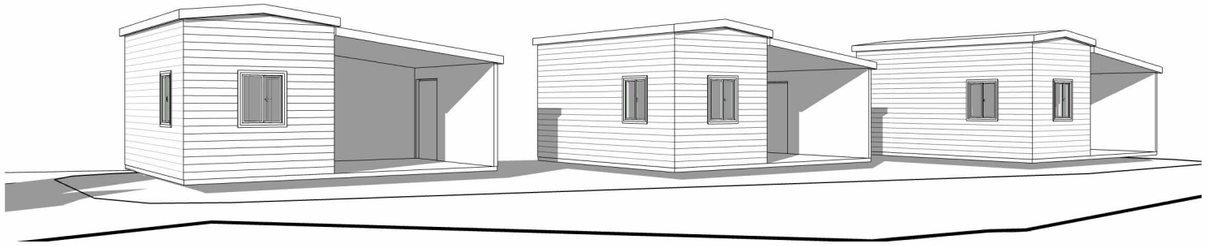
DEVELOPMENT APPLICATION AND CONSTRUCTION CERTIFICATE

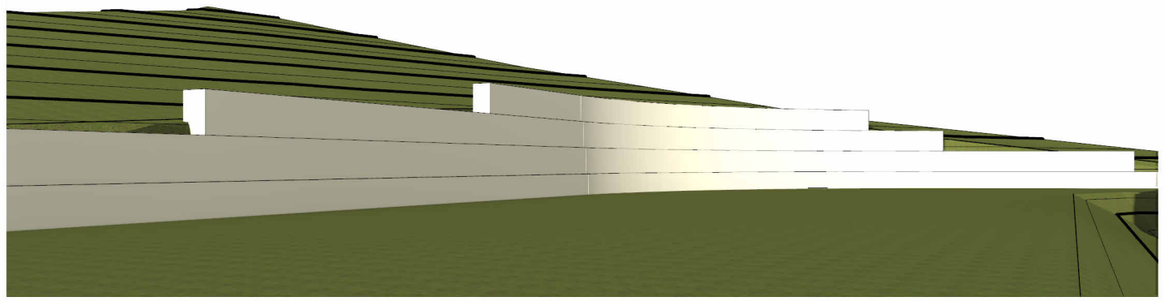
PROPOSED STABLE SHADE STRUCTURE, FARM SHEDS AND RETAINING WALL

CONTINUED USE OF EXISTING STABLES,FOR:

THOMAS WORTH

LOT 42, DP1281377
24 RUPRECHTS ROAD
MITCHELLS ISLAND, NSW, 2430





Sheet List	
Sheet Number	**Sheet Name**
00	COVER SHEET
01	SPECIFICATIONS
02	DETAIL SITE PLAN
03	FULL SITE PLAN
04	SITE PLAN DETAIL
05	STABLES FLOOR PLAN

Revision Schedule		
Rev	Amendment	Date
A	Concept Plan	22/11/23
B	Council Issue	05/03/25

JAKE JOHNSTON
Building Design

1. PRELIMINARIES

1.01 - SCOPE

THIS SPECIFICATION HAS BEEN PREPARED FOR USE WITH CLASS 1A AND 10 BUILDINGS AS DETERMINED BY PART A6 - BUILDING CLASSIFICATION, VOLUME TWO OF THE NATIONAL CONSTRUCTION CODE.

THE WORK SHALL BE PERFORMED IN ACCORDANCE WITH:

- THE APPROVED PLANS, INCLUDING BASIX COMMITMENTS AND SECTION 4.55.
- ANY CONDITIONS OF DEVELOPMENT CONSENT OR COMPLYING CERTIFICATE
- THE NATIONAL CONSTRUCTION CODE, VOLUME 2
- AUSTRALIAN HOUSING PROVISION STANDARD (ABCB)

1.02 - STATUTORY REQUIREMENTS, APPROVALS, FEES AND INSPECTIONS

- ALL BUILDING AND ASSOCIATED WORK SHALL COMPLY WITH RELEVANT ACTS AND REGULATIONS OF PARLIAMENT AND STATUTORY REQUIREMENTS.

1.03 -APPOINTMENT OF PRINCIPLE CERTIFYING AUTHORITY (PCA)

- IN ACCORDANCE WITH SECTION 4.69 SUBSECTIONS a,b,c, THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979, THE OWNER IS REQUIRED TO APPOINT THE PCA. THE OWNER IS RESPONSIBLE FOR PROVIDING THE BUILDER A LIST OF MANDATORY CRICTICAL STAGE INSPECTIONS AS REQUIRED BY CLAUSE 162A OF THE ENVIRONMENTAL
PLANNING AND ASSESSING REGULATIONS 2000.

1.04- MATERIALS

- ALL MATERIALS SHALL BE NEW, UNLESS OTHERWISE IDENTIFIED IN THE SCHEDULE.

1.05 - WHS

THE BUILDER HAS STATUTRY RESPONSIBILITIES IN RELATIONS TO WHS ACT 2011 (NSW) AND WHS REGULATIONS 2017.

1.06 - SITE ACCESS

IN ACCORDANCE WITH WHS REGULATION, REGULATION 308, BEFORE WORK COMMENCES, THE BUILDER SHALL PROIDE A SIGNBOARD AT LEAST 600mm x 900mm, EITHER LANDSCAPE OR POTRAIT CONTAINING THE FOLLOWING.

- THE BUILDERS NAME AND TELEPHONE
- THE LOCATIONS OF THE SITE OFFICE FOR THE PROJECT
- BUILDERS LICENSE NUMBER AND THE WORDS LICENSED CONSTRACTOR.

2. EXCAVATIONS, FOUNDATIONS AND FOOTINGS

2.01 PROTECTION OF SERVICES

CONTACT BEFORE YOU DIG AUSTRALIA TO IDENTIFY THE LOCATION OF UNDERGROUND ASSETTS.

2.02 SOIL EROSION AND SEDIMENT CONTROL

MEASURES SHALL BE UNDERTAKEN TO MANAGE THE EFFECTS OF STORMWATER RUN OFF TO AVOID EROSION, SEDIMENTATION, CONTAMINATION OF THE SITE, SURROUNDING AREAS AND DRAINAGE SYSTEM

2.03 TREE PROTECTION

PROTECT ANY TREES IDENTIFIED FOR RETENTION ON THE DRAWINGS OR AS CONDITIONED ON THE CONSENT. VISABLE TAPE TO BE USED TO IDENTIFY SUCH TREES.

2.04 - SITE PREPARATION

RUBBISH, TOP SOIL AND VEGETATION WITHIN 1m OF PROPOSED BUILDING SHALL BE CLEARED AND REMOVED.

2.05 - EXCAVATION

EXCAVATION WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE WHS ACT 2011 AND THE WHS REGULATION 2017, DIVISION 3 - EXCAVATION WORK,REGULATION 304, 305 AND 306. AND RELEVANT AUSTRALIAN STANDARDS.

2.06 SCOPE

EXCAVATE AND ACKFILL AS REQUIRED FOR ALL WORK SHOWN ON THE DRAWINGS. THE EXCAVATION AND PLACEMENT OF FILL SHALL BE UNDERTAKEN IN ACCORDANCE WITH NCC H1D3, SITE PREPARATION.

3 CONCRETE

3.01 TERMITE RISK MANAGEMENT

TERMITE BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH NCC H1D3 SITE PREPARATION.

3.02 DAMP PROOF MEMBRANE NSW (NN H1D4 FOOTINGS AND SLABS)

DAMP PROOF MEMBRANE INSTALLED UNDER SLAB ON GROUND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NSW VARIATION NCC H1D4 FOOTINGS AND SLABS.

Rev	Amendment	Date

3.03 - FORMWORK

QUALITY FORMWORK SHALL BE USED TO PROVIDE SHAPE, LINE, TRUE POSITIONING AND DIMENSION TO CARRY ALL IMPOSED LOADS. BRACE SUFFICIENTLY TO PREVENT BOWING OR BUCKLING WHILE CONCRETE IS BEING POURED AND CURED.

3.04 REINFORCEMENT (AS2870) RESIDENTIAL SLABS AND FOOTINGS

STEEL REINFORECMENT SHALL COMPLY WITH AS2870 RESIDENTIAL SLABS AND FOOTINGS AND THE ENGINEERING DETAILS.

3.05 PREMIXED CONCRETE

PREMIXED CONCRETE SHALL BE SUPPLIED TO COMPLY WITH AS3600 CONCRETE STRUCTURES.

3.06 PLACEMENT

TRENCHES AND FOOTINGS SHALL BE DEWATERED AND CLEANED OF LOOSE AND SOFTENED MATERIAL PRIOR TO CONRETE PLACEMENT.

3.07 CURING

CONCRETE SHALL BE CURED BY COVERING WITH PLASTIC SHEETING, THE APPLICATION OF A SUITABLE CURING COMPOUND, BY KEEPING CONTINUALLY DAMP, OR IN ACCORDANCE WITH AS3600.

3.08 FOOTINGS AND SLAB ON GROUND

CONCRETE SLABS AND FOOTINGS SHALL NOT BE PURED WITHOUT APPROVAL OF THE ENGINEER AND THE PCA.

3.09 PIER AND BEAM FOOTINGS

WHERE NOMINATED, PIER AND BEAM FOOTINGS SHALL BE CONSTRUCTED TO THE ENGINEERS DESIGN AND SHALL NOT BE POUED WITHOUT APPROVAL OF THE ENGINEER AND THE PCA.

3.10 SCREW IN FOUNDATIONS

SCREW IN FOUNDATIONS AND PROPRIETARY BRAND FLOORING SYSTEMS BASED ON COMPOSITE DESIGN WITH PRE-CAST BEAMS AND SITU CONCRETE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND CONSULTING ENGINEER.

3.11 CONCRETE PATHS

CONCRETE PATHS SHALL BE AT LEAST 75mm THICK AND IN UNREINFORCED LAID IN SECTIONS NO MORE THAN 1800mm IN LENGTH. IF REINFORCED, THE MAXIMUM LENGTH OF EACH SECTION SHALL BE NO MORE THAT 3000mm.

4. RETAINING WALLS

4.01 RETAINING WALLS

RETAINING WALLS SHALL BE CONTRUCTED AS IDENTIFIED BY THE APPROVED PLANS. THE LOCATION OF RETAINING WALLS TO BOUNDAIRIES SHALL BE CONFIRMED BY A QUALIFIED ENGINEER PRIOR TO CONSTRUCTION.

5. DRAINAGE AND WASTE WATER TREATMENT

ALL DRAINAGE WORK SHALL BE CARRIED OUT BY A LICENSED PLUMBER. STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH NCC H2D2 DRAINAGE AND AS/NZS 3500 PLUMBING AND DRAINAGE SERIES.

6. MASONRY
6.01 MASONRY UNITS

MASONRY UNITS ARE TO BE AS SELECTED AND IDENTIFIED IN THE SCHEDULE. MASONRY UNITS PRODUCED FORM CLAY, CONCRETE AND CALCIUM SILICATE SHALL COMPLY WITH AS/NZS 4455 MASONRY UNITS, PAVERS, FLAGS

MASONRY UNITS EXPOSED TO SALT ATTACK SHALL COMPLY WITH THE DURABILITY REQUIREMENTS OF AS3700 MASONRY STRUCTURES.

6.02 WORKMANSHIP

MASONRY CONSTRUCTION SHALL COMPLY WITH AS4733.1 MASONRY IN SMALL BUILDINGS PART 1 AND 2 AND NNC H2D4 MASONRY.

6.03 - MORTAR

MORTAR MIXES SHALL COMPLY WITH AS3700 MASONRY STRUCTURES.

MORTAR FOR REINFORCED MASONRY SHALL BE OF MORTAR CLASS EITHER M3 OR M4.

6.04 CAVITIES AND WEEPHOLES

IN BRICK VENEER CONSTRUCTION, THE MINIMUM CAVITY WIDTH SHALL BE 25mm , MEASURED CLEAR OF ANY CONDUIT, INSULATION OR SERVICES.

WEEPHOLES SHALL BE CREATED BY OPEN PERPENDS, FREE OF MORTAR AND OTHER MATERIALS,, AT CENTRES NOT EXCEEDING 1200mm CENTRES AND IN ACCORDANCE TO AS4773.1.

6.05 WALL TIES

WALLS TIES ARE TO COMPLY WITH AS4773.1 AND SHALL BE MANUFACTURED IN ACCORDANCE WITH AS/NZS2699.1.

6.06 LINTELS

LINTELS SHALL COMPLY WITH AS2699 PART 3 BUILT IN COMPONENTS FOR MASONRY CONSTRUCTION AND AS3600.

STEEL LINTELS TO COMPLY WITH AS4100 AND AS/NZS4600.

6.07 DAMP PROOF COURSES

FLASHINGS AND DAMP PROOF MEMBRANE SHALL BE MANUFACTURED TO AS/NZS2904 DAMP PROOF COURSES AND FLASHINGS.

6.08 ACCESS AND SUB FLOOR VENTILATION

SUBFLOOR VENTILATION SHALL BE PROVIDED IN ACCORDANCE WITH NCC H2D5 SUBFLOOR VENTILATION.

7. CARPENTRY (NCC H1D6 FRAMING)

7.01 GENERAL

ALL TIMBER USED SHALL BE OF THE DURABILITY AND STRESS GRADE SPECIFIED AND COMPLY WITH THE PROVISIONS OF AS1720 TIMBER STRUCTURES AND AS1684 RESIDENTIAL TIMBER FRAMED CONSTRUCTION.

7.02 ENGINEERED TIMBER PRODUCTS

FABRICATED GLUE-LAMINATED TIMBER BEAMS ARE TO CONFORM TO AS1328 GLUE LAMINATED STRUCTURAL TIMBER, PART 1: PERFORMACE REQUIREMENTS AND MINIMUM PRODUCTION REQUIREMENTS.

7.03 HANDLING AND STORAGE

TIMBER AND TIMBER PRODUCTS TO DELIVERED TO THE SITE SHALL BE STORED AT LEAST 150mm OFF THE GROUND, STORED LEVEL, EVENLY SUPPORTED, WELL VENTILATED AND PROTECTED FROM THE RAIN AND SUN.

7.04 CORROSION PROTECTION

ALL CONNECTORS, FIXING PLATES, BRACKETS AND GENERAL FIXINGS SHALL SHALL SUIT EXPOSURE LEVEL AND COMPATIBLE TO AVOID GALVANIC OR ELECTRO-CHEMICAL ACTION.

7.05 FLOOR FRAMING

FLOOR STRUCTURE SIZES AND SPACING ARE TO BE IN ACCORDANCE WITH AS1684 RESIDENTIAL TIMBER FRAMING CONSTRUCTION.

7.06 FLOORING

FLOORING IS TO BE CLEAR FINISHED AND SHALL NOT BE LAID UNTIL THE BUILDING IS WEATHER TIGHT. CHECK SUPPLIER CERTIFICATE FOR SPECIES, GRADE SIZE AND MOISTURE CONTENT PRIOR TO LAYING.

7.07 PLYWOOD STRUCTURAL FLOORING

STRUCTURAL PLYWOOD MUST BE MANUFACTURED IN ACCORADANCE WITH AS/NZS2269 PLYWOOD - STRUCTURAL - SPECIFICATIONS AND SHEETS STAMPED WITH MANUFACTURERS NAME OR TRADEMARK.

SHEETS SHALL BE INSTALLED IN ACCORDANCE WITH AS1684.

PLYWOOD FACE GRAIN MUST RUN AT RIGHT ANGLES TO THE JOISTS AND SHALL BE CONTINUOUS OVER AT LEAST TWO SPANS.

7.08 PARTICLEBOARD FLOORING

PARTICLEBOARD FLOORING SHALL BE LAID AND FIXED IN ACCORDANCE WITH AS 1860.2 PARTICALEBOARD FLOORING.

7.09 WALL FRAMING

WALL FRAME, SIZES AND SPACING SHALL BE IN ACCORDANCE WITH AS1684 OR AS SPECIFIED BY A PRACTISING ENGINEER.

7.10 WALL SARKING

PROVIDE WALL SARKING AS NOTED ON THE DRAWINGS AND NOTED IN THE SCHEDULE AND IN ACCORDANCE WITH AS 4200 PLIABLE BUILDING MEMBRANES AND UNDERLAYS.

7.11 TIMBER STAIRS

TIMBER STAIRS ARE TO BE DESIGNED AND CONSTRUCTED TO RISER, GOING AND BALUSTRADE DIMENSIONS AND COMPLY WITH NCC H5D2 STAIRWAY AND RAMP CONSTRUCTION AND AS/NZS 1657 FIXED PLATFORMS, WALKWAYS, STAIRWAYS AND LADDERS.

7.12 ROOF TRUSSES

ROOF TRUSSES SHALL BE FABRICATED IN ACCORDANCE WITH DESIGNS PREPARED BY A PRACTISING STRUCTURAL ENGINEER, AS 1720.1 TIMBER STRUCTURES, PART 1 : DESIGN METHODS AND AS 1720.5 TIMBER STRUCTURES, PART 5 NAIL PLATED TIMBER ROOF TRUSSES.

7.13 ROOF BRACING

PROVIDE ROOF BRACING IN ACCORDANCE WITH TRUSS MANUFACTURERS DETAILS AND SECTION 8 OF AS 1684.

7.14 VERANDAH POSTS

VERANDAH POSTS UNLESS OTHERWISE SPECIFIED SHALL BE A MINIMUM 0F 100mm X 100mm OR AS REQUIRED BY AS 1684.

7.15 EAVES SOFFIT

WHERE OVERHANG IS LESS THAN 600mm SUPPORT LININGS ON 45mm X 32mm SOFFIT BEARERS AT NOT MORE THAN 450mm CENTRES.
WHERE OVERHANG IS BETWEEN 600mm AND 1500mm, SUPPORT SOFFIT LININGS ON 70x35 SOFFIT BEARERS AT NOT MORE THAN 450mm CENTRES.

7.16 VENTILATION OF ROOF SPACES

VENTILATE THE ROOF SPACE AT THE RIDGE, GABLE AND OR/OR EAVES TO EFFECTIVELY CROSS VENTILATE THE WHOLE OF THE ROOF SPACE AS DESCRIBED IN THE ABCB PART 10.8.3 VENTILATION OF ROOD SPACES VENTILATION OF ROOF SPACES.

7.16 HOT WATER STORAGE TANK SUPPORT

WHERE SOLAR WATER HEATERS INCORPORATING A ROOF SOTRAGE TANK ARE INSTALLED INTO THE ROOF DESIGN.

8 STEEL FRAMING (NCC H1D6 FRAMING)

8.01 GENERAL

STEEL FRAMING WILL COMPLY WITH NCC H1D6 FRAMING, STEEL FRAMING SHALL BE DESIGNED AND CONSTRUCTED TO EITHER

- AS 4100 - STEEL STRUCTURES
- AS/NZS 4600 - COLD FORMED STEEL STRUCTURES
- NASH - RESIDENTIAL AND LOW-RISE STEEL FRAMING - PART 1 DESIGN

8.02 CORROSION PROTECTION

THE STEEL FRAME MUST BE PROTECTED FROM CORROSION IN ACCORDANCE WITH NCC H1D6 FRAMING.

9 ROOFING (NCC H2D6 ROOF AND WALL CLADDING AND NCC H1D7 ROOF AND WALL CLADDING

9.01 GENERAL

ALL ROOF CLADDING SHALL COMPLY WITH NCC H2D6 ROOF AND WALL CLADDING AND NCC H1D7 ROOF AND WALL CLADDING AND ONE OR MORE OF THE FOLLOWING REFERENCED DOCUMENTS RELEVANT TO THE WORK.

- AS 2049 - ROOF TILES
- AS 2050 - INSTALLATION OF ROOF TILES
- AS1562.1 - DESIGN AND INSTALLATION OF SHEET ROFF AND WALL CLADDING
- AS/NZS 4256 PTS 1, 2, 3 AND 5. AND AS/NZS 1562.3 PLASTIC SHEETING ROOF

9.02 ROOF TILES

PROVIDE ROOF TILES AS SHOWN ON THE DRAWINGS. ROOF TILES SHALL BE OF A COLOUR, PROFILE AND MATERIAL NOTED IN THE SCHEDULE AND COMPLY WITH NCC H2H6 ROOF AND WALL CLADDING AND NCC H1D7 ROOF AND WALL CLADDING.

9.03 METAL ROOFIING

PROVIDE METAL ROOFING AS SHOWN ON THE DRAWINGS. METAL ROOFING SHALL BE OF A PROFILE AND COLOUR AS PROVIDED IN THE SCHEDULE. METAL ROOFING AND ACCESSORIES SHALL BE INSTALLED TO THE MANUFACTURERS RECOMMENDATIONS AND REQUIREMENTS SET OUT IN THE NCC H2D6 ROOF AND WALL CLADDING AND NCC H1D7 ROOF AND WALL CLADDING.

9.04 BATTENS

TIMBER BATTENS SHALL BE SIZED AND INSTALLED IN ACCORDANCE WITH AS 1684.2 RESIDENTIAL TIMBER FRAMED CONTRUCTION.

9.05 SARKING

REFLECTIVE FOIL SARKING SHALL COMPLY WITH AS 4200.1 PLIABLE BUILDING MEMBRANE AND UNDERLAYS, PART 1: MATERIALS AND BE INSTALLED IN ACCORDANCE WITH AS4200.2 PLIABLE BUILDING MEMBRANES AND UNDERLAYS, PART 2: INSTALLATION REQUIREMENTS.

9.06 ROOF FLASHING

FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH ABCB PART 7.2.7 FLASHINGS AND CAPPINGS.

9.07 GUTTERS AND DOWNPIPES

GUTTERS AND DOWNPIPES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NCC H2D6 ROOF AND WALL CLADDING AND NCC H1D7 ROOF AND WALL CLADDING.

10 INTERNAL LININGS

10.01 WALLS

WALLS SHALL BE FIXED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.

10.02 WET AREA LININGS

WET AREA LININGS SHALL BE OF WATER RESISTANT MATERIAL FOR FULL WALL HEIGHT IN ACCORDANCE WITH NCC H4D2 WET AREAS AND NCC H4D3 MATERIALS AND INSTALLATION

10.03 CEILING LININGS

CEILING LININGS SHALL BE 13mm GYPSUM PLASTERBOARD OR 10mm HIGH DENSITY PLASTERBOARD.

11 WATERPROOFING

11.01 GENERAL

FROM THE DRAWINGS , IDENTIY THE AREAS TO BE WATERPROOFED.

WATERPROOFING TO INTERNAL WET AREAS AND BALCONIES OVER HABITABLE AREAS SHALL BE IN ACCORDANCE WITH NCC H4D2 WET AREAS AND NCC H4D3 MATERIALS AND INSTALLATION OF WET AREA COMPONENTS AND SYSTEMS AND AS 3740.

12 JOINERY

12.01 GENERALLY

ALL FIXING OUT TIMBER TO BE SEASONED AND FREE FROM DEFECTS WHICH MIGHT AFFECT APPEARANCE OR DURABILITY. ALL TIMBERS USED ARE TO BE DRESSED ALL ROUND.

12.02 DOORS

EXTERNAL DOORS ARE TO BE SOLID CORE OR FRAMED AND GLAZED AND NOT LESS THAN 2040x820x40mm THICK.

12.03 WINDOWS

ALUMINIUM AND TIMBER WINDOWS SHALL BE MANUFACTURED AND INSTALLED IN ACCORDANCE WITH AS2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS.

12.04 GLAZING

ALL GLAZING SHALL COMPLY WITH NCC H1D8 GLAZING, NCC H2D7 GLAZING AND AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION.

13 PLUMBING

ALL PLUMBING WORK IS TO BE IN ACCORDANCE WITH THE PLUMBING CODE OF AUSTRALIA AND COMPLY WITH THE REQUIREMENTS OF THE PLUMBING AND DRAINAGE REGULATOR OR LOCAL AUTHORITY.

13.01 STORMWATER DRAINAGE

GUTTERING SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NCC H2D6 ROOF AND WALL CLADDING, NCC H1D7 ROOF AND WALL CLADDING AND AS 3500 PLUMBING AND DRAINAGE.

14 ELECTRICAL

14.01 GENERAL

ALL ELECTRICAL WORK SHALL BE UNDERTAKEN BY A LICENSED ELECTRICIAN. COMPLIANCE WITH AS/NZS ELECTRICAL INSTALLATIONS IS A LEGAL REQUIREMENT.

14.02 SMOKE ALARMS

SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH NCC H3D6 SMOKE ALARMS AND EVACUATION LIGHTING AND COMPLY WITH AS 3786 SMOKE ALARMS USING SCATTERED LIGHT, TRANSMITTED LIGHT OR IONISATION.

15 WALL AND FLOOR TILING

15.01 GENERAL

PROVIDE WALL AND FLOOR TILES SHOWN ON THE DRAWINGS AND/OR INCLUDED IN THE SCHEDULE.

15.01 FALLS IN WET AREAS

GRADE FLOOR TILES TO FLOOR WASTES AND ELSEWHERE AS REQUIRED. NCC 10.2.12

- MINIMUM CONTINUOUS FALL OF A FLOOR PLANE TO WASTE 1:80
- MAX CONTINUOUS FALL OF A FLOOR PLANE TO WASTE 1:50

16 PAINTING

GENERAL

ALL PAINT AND RELATED PRODUCTS SUCH AS PRIMERS, SEALERS AND FILLERS SHALL BE COMPATIBLE, SUITABLE FOR PURPOSE AND USED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND THE MANUFACTURERS SAFETY DATA SHEET.

JAKE JOHNSTON
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MOB:0402689260

EMAIL:
jakejohnstonbuildingdesign@gmail.com

33 BISSET STREET,
EAST KEMPSEY, NSW, 2440

PROPOSED NEW RESIDENCE

FOR THOMAS WORTH

AT LOT 42, DP1281377
24 RUPRECHTS ROAD
MITCHELLS ISLAND,
NSW, 2430

STANDARD NOTES:
ALL ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEERS DRAWINGS AND ALL OTHER RELEVANT CONSULTANTS DRAWINGS.
VERIFY ALL DIMENSIONS BEFORE WORK COMMENCES.
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BASIX CERT. No. N/A

TITLE SPECIFICATIONS

PLAN SHEDS & RETAINING WALL

DATE	05/03/25
SCALE	
DRAWN	J.A.J

JOB No. 353-JJBD

DRAWING No. 01

Site Area		
Name	**Area**	**Percentage Of Area Used**
Site Remaining	50548.25 m²	97.9%
Built Area	570.45 m²	1.1%
Stables	162.48 m²	0.3%
Hay Shed	180.00 m²	0.3%
Barn Area	159.55 m²	0.3%
Grand total: 5	51620.73 m²	100.0%

FLOOD LEVEL DETAILS

FPL4 PROBABLE MAX FLOOD LEVEL - 5.5m AHD

1% AEP FLOOD LEVEL IN YEAR 2010 - 2.9m AHD

1% AEP FLOOD LEVEL IN YEAR 2050 - 3.2m AHD

FPL2 1% AEP FLOOD LEVEL PLANNING IN YEAR 2100 - 3.5m AHD

FPLL3 FLOOD PLANNING LEVEL - 4.0m AHD - 1% FLOOD LEVEL PLUS 0.5m FREEBOARD

FPL1 5% OF AEP FLOOD LEVEL - 1.6m AHD

(C) - EASEMENT FOR OVERHEAD TRANSMISSION LINE 10 WIDE (VIDE DP1081422)
(D) - EASEMENT FOR OVERHEAD TRANSMISSION LINE 5 WIDE (VIDE DP1081422)
(R) - RIGHT OF CARRIAGEWAY 10 WIDE (VIDE DP1081422)
(T) - EASEMENT FOR OVERHEAD TRANSMISSION LINE 20 WIDE (VIDE DP1081422)
(W) - EASEMENT FOR WATER SUPPLY 28.645 WIDE (VIDE DP1279979)

LESLIES LANE

PROPOSED SHADE STRUCTURE BETWEEN EXISTING STABLES

PROPOSED HORSE STABLES

PAD RL3.7

PAD RL3.3

PAD RL4.7

EXISTING HOME OFFICE / EXISTING SHED

EXISTING DWELLING

BENCHMARK NAIL IN PEG RL 3.5 (AHD)

GRAVEL DRIVEWAY

PROPOSED CONCRETE BLOCK RETAINING WALL TO ENGINEERS DETAIL

MAXIMUM CUT

2x22,500L WATER TANKS ON CONCRETE PADS
ALL ROOF AREA TO BE DIVERTED TO WATER TANKS
WITH OVERFLOW TO UPTURNED SCOUR PROTECTED OUTLET

1.00 m
14.50 m
22.39 m
21.55 m
41.08 m
31.85 m
33.48 m
10.05 m

42
DP 1281377

7300
DP 1162605

CEMETERY

2
DP 1081422

2 1-Site Plan
Scale 1 : 500

Rev	Amendment	Date
B	Council Issue	05/03/25
A	Concept Plan	22/11/23

JAKE JOHNSTON BUILDING DESIGN

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MOB:0402689260

EMAIL:
jakejohnstonbuildingdesign@gmail.com

SUITE 5, RANATAN BUSINESS CENTRE, BELGRAVE STREET, KEMPSEY, NSW, 2440

ENGINEER

PROPOSED DWELLING

FOR THOMAS WORTH

AT LOT 42, DP1281377
24 RUPRECHTS ROAD
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BASIX CERT. No.	N/A
TITLE	DETAIL SITE PLAN
PLAN	SHEDS & RETAINING WALL
DATE	05/03/25
SCALE	1 : 500
DRAWN	J.A.J

JOB No. 353-JJBD

DRAWING No. 02

(C) - EASEMENT FOR OVERHEAD TRANSMISSION LINE 10 WIDE (VIDE DP1081422)
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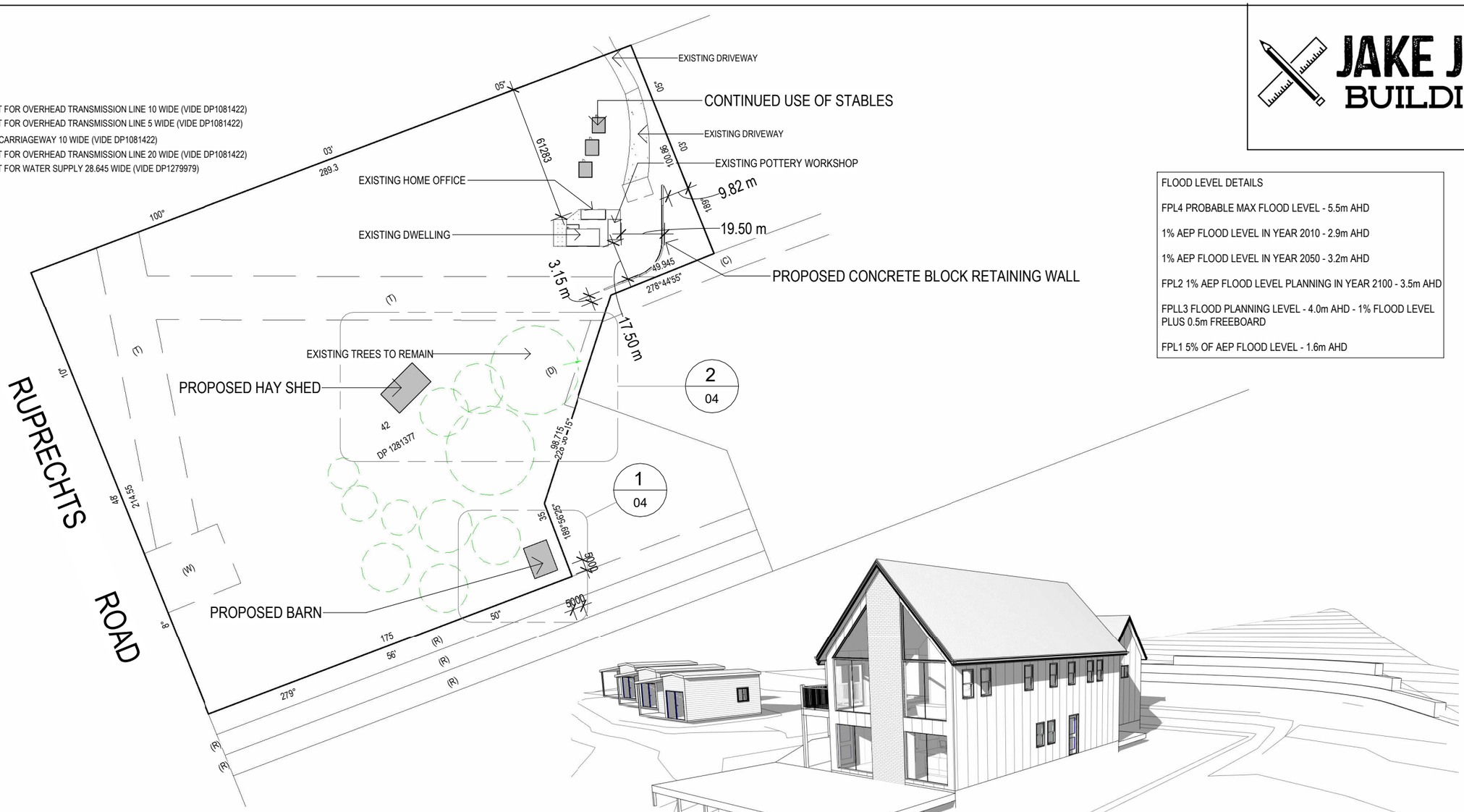

1 1-Full Site Plan
Scale 1 : 2000

LOCATION PLAN
RR: 1:1200

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ENGINEER

PROPOSED DWELLING

FOR THOMAS WORTH

AT LOT 42, DP1281377
24 RUPRECHTS ROAD
MITCHELLS ISLAND, NSW, 2430

STANDARD NOTES:
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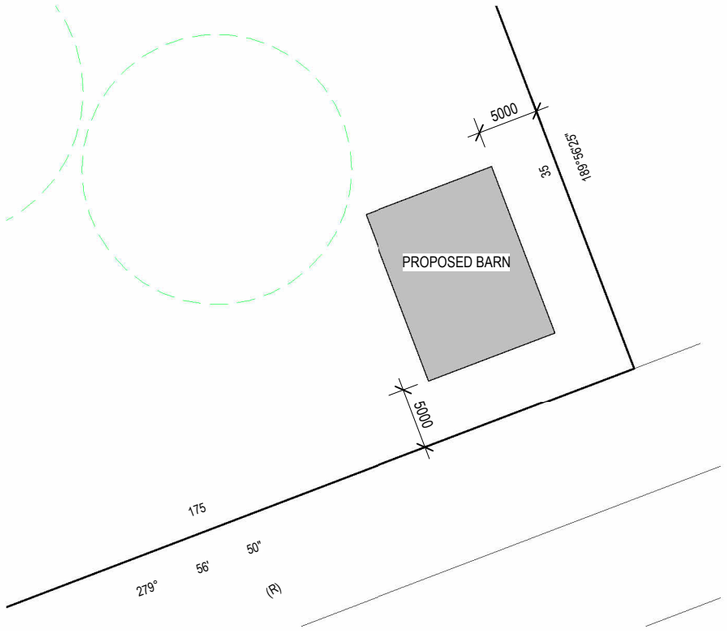
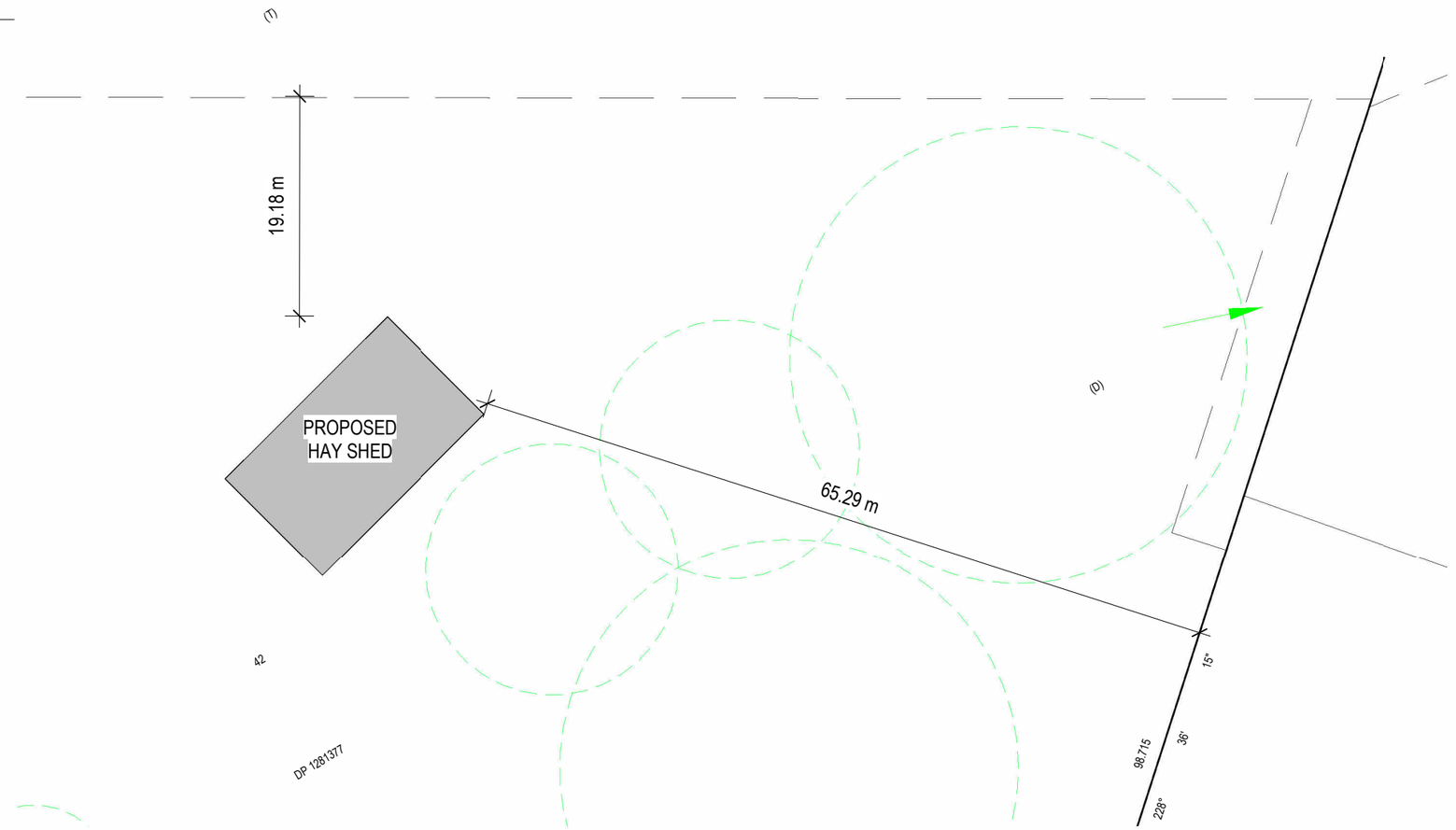
BASIX CERT. No.	N/A
TITLE	FULL SITE PLAN
PLAN	SHEDS & RETAINING WALL
DATE	05/03/25
SCALE	1 : 2000
DRAWN	J.A.J

JOB No. 353-JJBD

DRAWING No. 03



1 1-Barn Detail Site Plan
Scale 1 : 500



2 1-Hay Shed Detail Site Plan
Scale 1 : 500

Site Area		
Name	**Area**	**Percentage Of Area Used**
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Stables	162.48 m²	0.3%
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Barn Area	159.55 m²	0.3%
Grand total: 5	51620.73 m²	100.0%

Rev	Amendment	Date

JAKE JOHNSTON BUILDING DESIGN

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MOB:0402689260

EMAIL:
jakejohnstonbuildingdesign@gmail.com

SUITE 5, RANATAN BUSINESS CENTRE, BELGRAVE STREET, KEMPSEY, NSW, 2440

ENGINEER

PROPOSED DWELLING

FOR THOMAS WORTH

AT LOT 42, DP1281377
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353-JJBD 04

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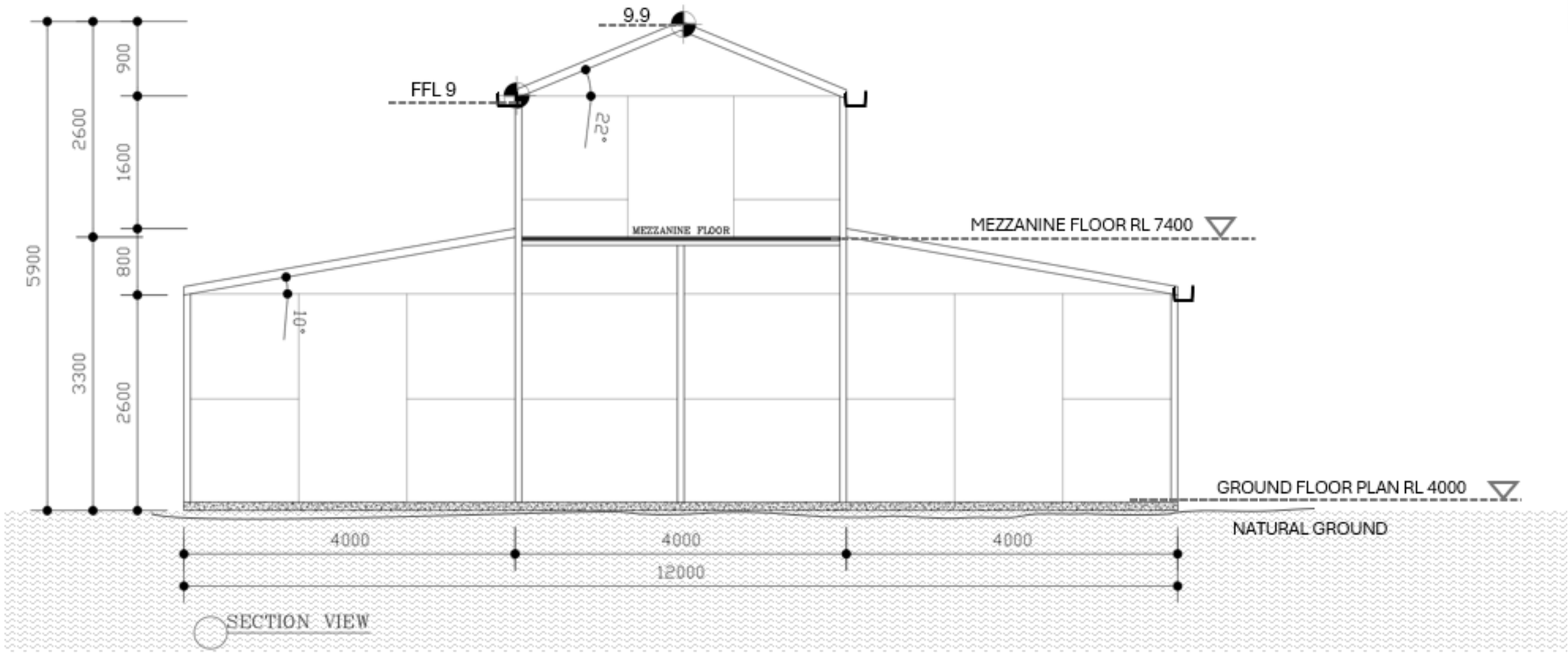

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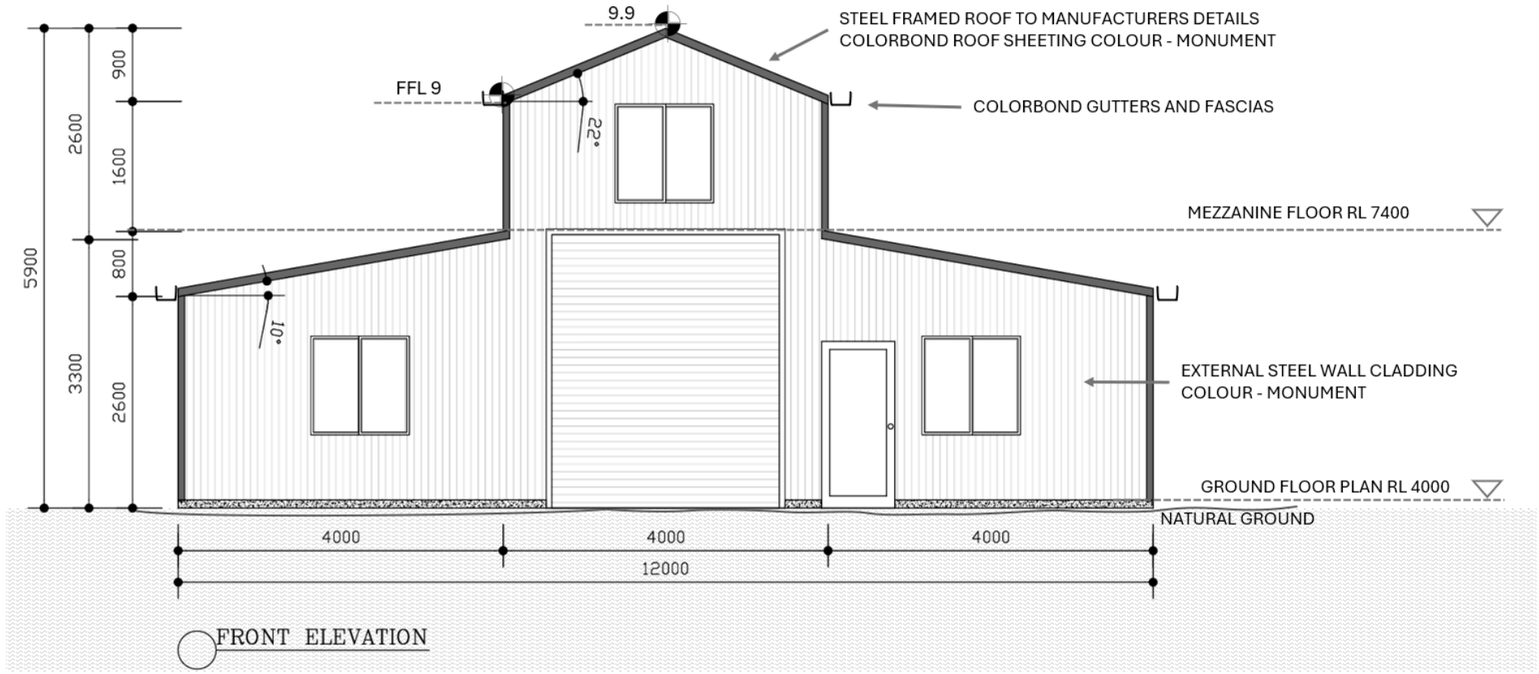
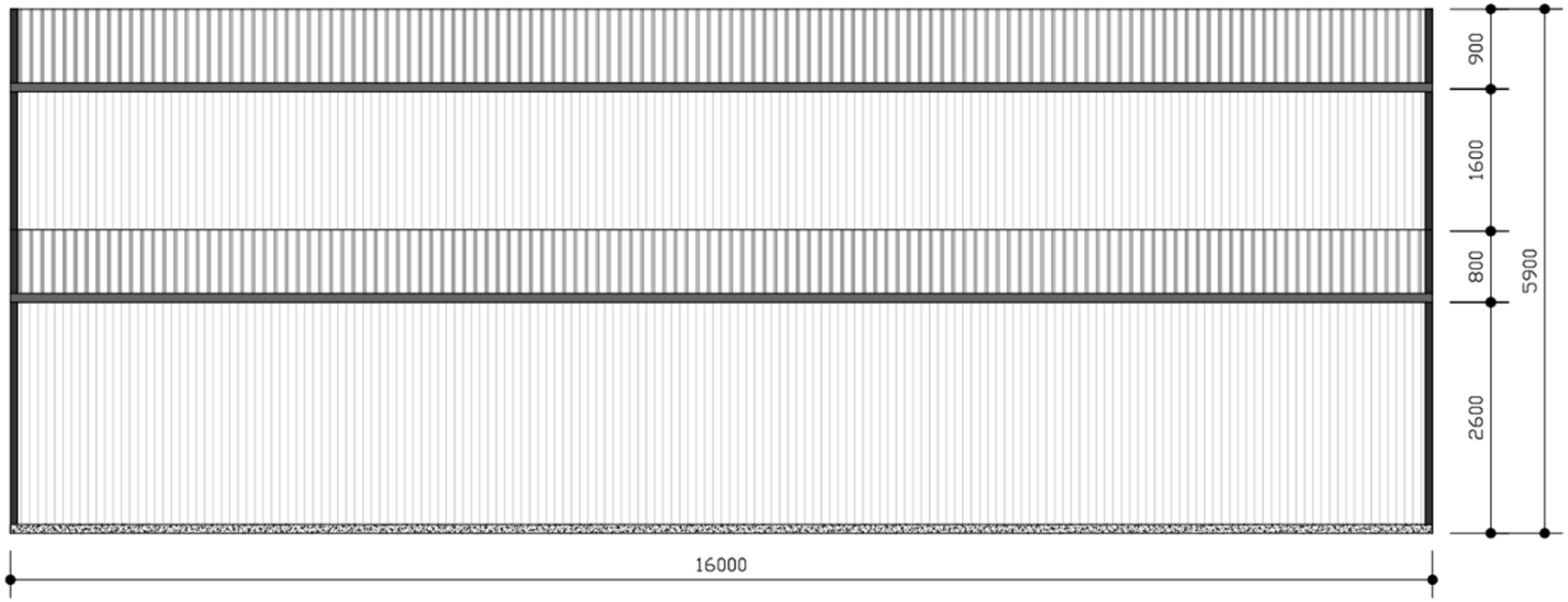


FRONT ELEVATION



RIGHT ELEVATION

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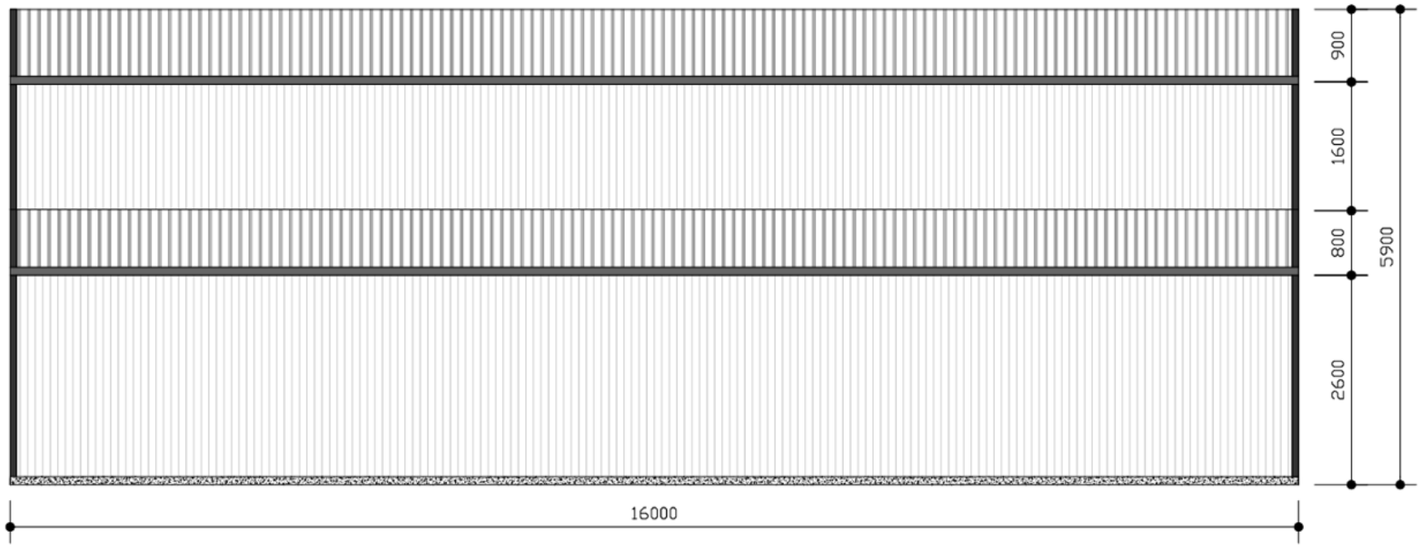
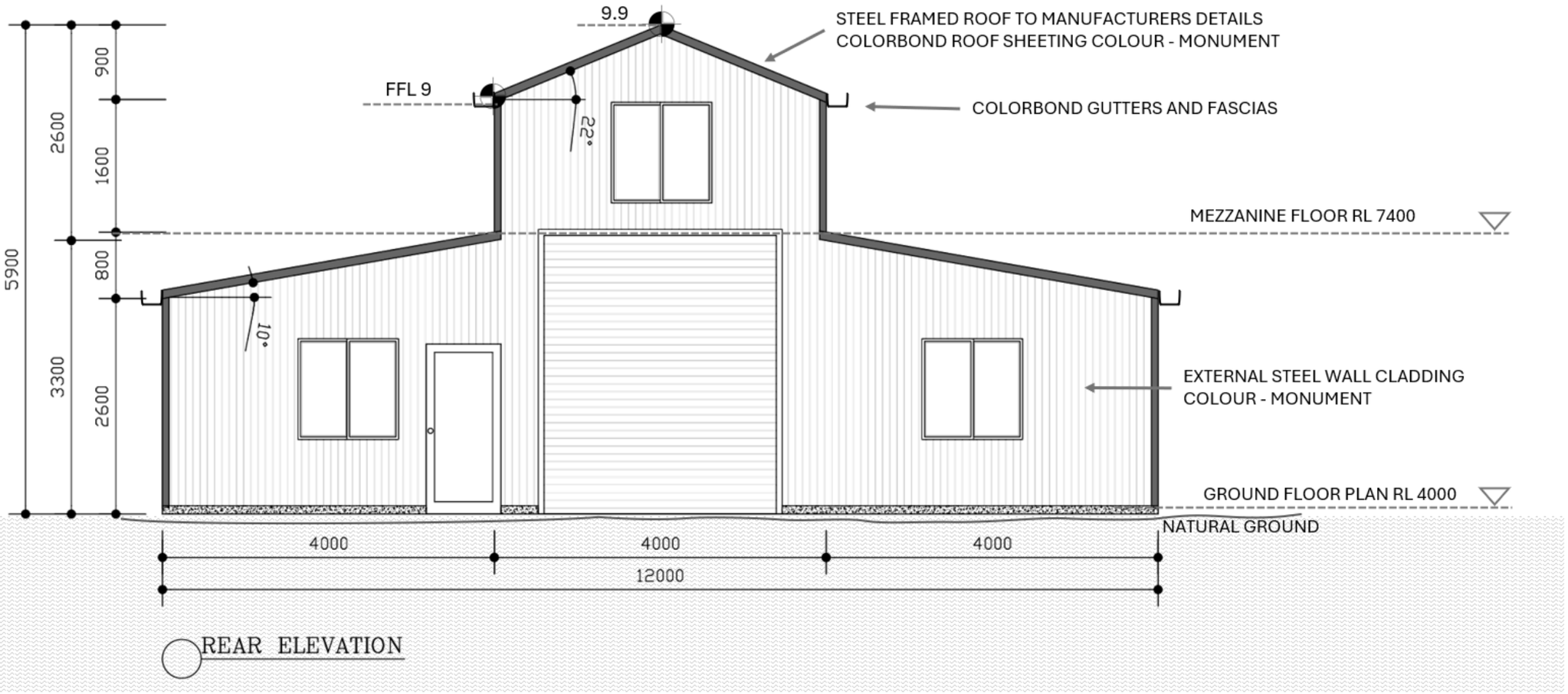
353-JJBD 04



LEFT ELEVATION



REAR ELEVATION

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SCALE	1 : 500
DRAWN	J.A.J

JOB No. 353-JJBD

DRAWING No. 04

1.0 GENERAL NOTES:

1.1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANT'S DRAWINGS & SPECIFICATIONS AND OTHER WRITTEN INSTRUCTIONS ISSUED DURING THE COURSE OF THIS CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE SUPERINTENDENT AND AWAIT CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

1.2. ALL LEVELS AND DIMENSIONS RELEVANT TO SETTING OUT AND OFF-SITE WORK SHALL BE VERIFIED BY THE BUILDER BEFORE CONSTRUCTION AND FABRICATIONS IS COMMENCED. THE ENGINEER'S DRAWINGS SHALL NOT BE SCALED.

1.3. ALL LEVELS AND LOCATIONS INDICATED IN THIS DRAWING ARE BASED ON THE INFORMATION PROVIDED BY THE BUILDER.

1.4. FINAL LEVELS AND LOCATIONS SHOULD BE VERIFIED BY A REGISTERED LICENSED SURVEYOR THROUGH A DETAILED TOPOGRAPHICAL SURVEY PRIOR TO THE CONSTRUCTION.

1.5. IF ANY DISCREPANCIES OR CHANGES IN LEVELS OR SITE CONDITIONS ARE IDENTIFIED DURING THE SURVEY OR CONSTRUCTION, THE BUILDER MUST IMMEDIATELY NOTIFY THE STRUCTURAL ENGINEER FOR REASSESSMENT AND POSSIBLE DESIGN ADJUSTMENTS.

1.6. DURING THE CONSTRUCTION, THE BUILDER SHALL BE RESPONSIBLE FOR MAINTAINING THE STRUCTURE IN A STABLE CONDITION/ PROPER ALIGNMENT AND EXCAVATION TO THE LEVELS/ AND LOCATIONS AS VERIFIED BY THE SURVEYOR, AND IF IN DOUBT, CONSULT THE ENGINEER. ANY UNAUTHORISED MODIFICATIONS TO THE RETAINING WALL DESIGN ARE STRICTLY PROHIBITED AND MAY COMPROMISE STRUCTURAL INTEGRITY.

1.7. STABILITY OF ALL EXCAVATIONS INCLUDING EXCAVATIONS IN THE VICINITY OF NEIGHBOURING BUILDINGS IS THE RESPONSIBILITY OF THE BUILDER, APPROVAL OF ALL PROPOSALS MUST BE GRANTED IN WRITING PRIOR TO COMMENCEMENT OF SUCH WORK.

1.8. ADEQUATE DRAINAGE BEHIND THE RETAINING WALL IS CRITICAL TO ITS PERFORMANCE. CONSULT THE STRUCTURAL ENGINEER IF ON-SITE CONDITIONS DEVIATE FROM THE DESIGN.

1.9. UNLESS OTHERWISE SPECIFIED, MATERIALS, CONSTRUCTION TOLERANCES AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH ALL RELEVANT AUSTRALIAN STANDARDS AND ENGINEERING SPECIFICATIONS INCLUDING CURRENT AMENDMENTS, STATUTORY AUTHORITIES REGULATIONS AND BY-LAWS AND THE BUILDING ACT. ANY DEVIATIONS BEYOND PERMISSIBLE TOLERANCES SHOULD BE REPORTED TO THE STRUCTURAL ENGINEER.

1.10. THIS DESIGN ASSUMES SOIL CONDITIONS ARE AS PER THE PROVIDED GEOTECHNICAL REPORT BY IDEAL GEOTECH. ANY UNEXPECTED GROUND CONDITIONS MUST BE COMMUNICATED TO THE STRUCTURAL ENGINEER IMMEDIATELY.

1.11. BUILDER TO COMPLY WITH HEALTH AND SAFETY REGULATIONS AT ALL TIMES DURING CONSTRUCTION AND INSPECTIONS. AND ALL OTHER CONSTRUCTION WORKS MUST COMPLY WITH LOCAL COUNCIL REGULATIONS AND RELEVANT AUSTRALIAN STANDARDS. THE RETAINING WALL DESIGN MUST BE CERTIFIED BEFORE COMMENCING CONSTRUCTION IF REQUIRED BY LOCAL AUTHORITY.

2.0 CONCRETE NOTES:

2.1. MATERIALS, WORKMANSHIP AND TESTING SHALL COMPLY WITH AS 1379, AS 3600 & AS 3610.

2.2. WATER MUST NOT BE ADDED TO THE PREMIXED CONCRETE AT SITE AND NO ADDITIVES OR ADMIXTURES TO BE USED WITHOUT OBTAINING PRIOR APPROVAL IN WRITING FROM THE ENGINEER.

A) THE FOLLOWING STRUCTURAL COMPONENTS SHALL HAVE THE FOLLOWING CONCRETE STRENGTH CHARACTERISTICS:

FOOTING	20 MPa	100 SLUMP	20mm MAX. AGGREGATE
SLAB ON GROUND	25 MPa	80 SLUMP	20mm MAX. AGGREGATE
SUSPENDED SLAB	32 MPa	80 SLUMP	20mm MAX. AGGREGATE

B) LAP SPLICES FOR FABRIC (MESH) IN TENSION SHALL BE MADE SO THAT THE OUTER MOST TRANSVERSE WIRES OF ONE SHEET OF FABRIC OVERLAP THE TWO OUTERMOST TRANSVERSE WIRES OF THE SHEET BEING LAPPED, AS SHOWN IN THE FIGURE BELOW. ALL FABRIC (MESH) SHALL BE Fy = 500 MPa.

A) S1 = S2 B) S1 < S2

2.3. CONCRETE COVER TO REINFORCEMENT (REFER TABLE 4.10.3.2 OF AS 3600) UNLESS OTHERWISE SHOWN SHALL BE AS FOLLOWS:

2.0 CONCRETE NOTES (CONTINUED):

BUILDING ELEMENT	CONCRETE COVER (mm)	
	INTERNAL	EXTERNAL
FOOTINGS	50 GENERALLY	
SLAB ON GROUND	30 TOP	40 TOP

2.4. NO CHEMICAL ADMIXTURES TO BE USED IN THE CONCRETE WITHOUT THE SUPERINTENDENT'S PRIOR APPROVAL.

2.5. SIZE OF ELEMENTS IS EXCLUSIVE OF APPLIED FINISHES. BEAM DEPTHS INCLUDE SLAB THICKNESS & ARE THE FIRST DIMENSION SPECIFIED FOLLOWED BY WIDTH.

2.6. SLABS TO BE CONTINUOUSLY MOIST CURED FOR 7 DAYS MAINTAINING DAMPNESS AT ALL TIMES WITH CLEAR PLASTIC FILM AND WET SAND, OR CONTINUOUS IMMERSION. PVA & RESIN BASED CURING COMPOUNDS SHALL NOT BE USED.

2.7. MECHANICALLY VIBRATE ALL CONCRETE TO GIVE MAXIMUM COMPACTION WITHOUT SEGREGATION OF THE CONCRETE.

2.8. AT FOOTING INTERSECTIONS REINFORCEMENT SHALL EXTEND MIN. 40xBAR DIAMETERS INTO TRANSVERSE FOOTING.

2.9. NO HOLES, CHASES OR EMBEDMENT OF PIPES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE ELEMENTS WITHOUT PRIOR APPROVAL OF THE SUPERINTENDENT.

2.10. DIMENSIONAL TOLERANCES OF AS 3600 MODIFIED BY AS 3610 SHALL APPLY UNLESS OTHERWISE NOTED.

2.11. REINFORCEMENT IS REPRESENTED DIAGRAMATICALLY AND NOT NECESSARILY SHOWN IN TRUE PROJECTION.

2.12. SPLICES IN REINFORCEMENT SHALL BE MADE ONLY IN THE POSITIONS SHOWN OR AS OTHERWISE APPROVED BY THE SUPERINTENDENT.

2.13. WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED WITHOUT THE APPROVAL OF THE SUPERINTENDENT.

2.14. ALL REINFORCEMENT SHALL BE WIRED TO AND SUPPORTED OF APPROVED CHAIRS AT A MAXIMUM SPACING OF 1m CENTRES BOTH WAYS TO PROVIDE THE CORRECT COVER.

2.15. REINFORCEMENT SYMBOLS:

N - DEFORMED BARS TO AS/NZS 4671 GRADE 500 MPa
R - STRUCTURAL GRADE PLAIN ROUND BAR TO AS/NZS 4671 GRADE 250 MPa
SL/RL - HARD DRAWN STEEL WIRE REINFORCING FABRIC TO AS/NZS 4671 GRADE 500 MPa

2.16. FORMWORK FOR FORMED CONCRETE SHALL BE STRIPPED AS REQUIRED BY THE FORMWORK CODE AND SHALL BE BACKPROPPED UNTIL SUCH TIME AS THE CONCRETE HAS GAINED ITS DESIGN STRENGTH (AS 3600 AND AS 3610 ALSO APPLY).

2.17. WHERE CONSTRUCTION LOADS ARE IMPOSED, ADEQUATE BACKPROPPING SHALL BE MAINTAINED UNTIL SUCH LOADS ARE REMOVED AND AS APPROVED BY THE SUPERINTENDENT.

2.18. FORMWORK DESIGN AND THE PROGRAMME OF CONCRETE POURS, STRIPPING AND SHORING SEQUENCES SHALL BE APPROVED BY THE SUPERINTENDENT.

2.19. PROVIDE DAMP PROOF MEMBRANE WHEN CONCRETE IS CAST AGAINST THE GROUND.

2.20. FORMWORK SHALL REMAIN IN POSITION FOR A MINIMUM PERIOD OF 28 DAYS. WHERE SLABS AND BEAMS ARE TO SUPPORT BRICKWORK OR OTHER NON-FLEXIBLE / BRITTLE FORMS OF CONSTRUCTION.

2.21. NO LOADS SHALL BE PLACED ON CANTILEVERED MEMBERS UNTIL REMOVAL OF TEMPORARY SUPPORTS.

2.22. DESIGN, ERECTION AND REMOVAL OF FORMWORK AND TEMPORARY SUPPORTS SHALL BE THE RESPONSIBILITY OF THE BUILDER.

2.23. THE FACES OF ALL CONCRETE OF WHICH NEW CONCRETE IS TO BE POURED SHALL BE THOROUGHLY SCABBLED AND CLEANED OF ANY DELETERIOUS MATERIAL.

2.24. PRIOR TO PLACEMENT OF SLAB ON GROUND, ALL TOP SOIL AND ANY LOOSE OR ORGANIC MATERIAL MUST BE REMOVED AND REPLACED BY AN APPROVED CONSOLIDATED FILLING MATERIAL COMPACTED TO A MINIMUM OF 98% MDD.

3.0 TREES AND LANDSCAPE NOTES:

3.1. WHERE TREE(S) EXIST WITHIN THE SITE AND/OR ADJOINING SITE(S) OR NEW TREES ARE PROPOSED, IT IS IMPORTANT TO ENSURE THAT THESE EXISTING OR PROPOSED TRESS DO NOT NEGATE THE PERFORMANCE OF THE FOOTING. A THUMB RULE IS 1.5 x THE MATURE HEIGHT OF THE TREE IS THE DISTANCE MEASURED FROM THE TREE TRUNK IS THE ZONE OF INFLUENCE OF THE TREE TO THE FOUNDATION. IN ALL CASES, A QUALIFIED ARBORIST WITH AQF5 QUALIFICATION SHOULD BE CONSULTED TO DETERMINE IF THE TREE ROOTS WILL NEGATE THE FOUNDATION IN ANYWAY AND APPROPRIATE MEASURES SUCH AS ROOT BARRIER OR REMOVAL OF THE TREE ETC. MAY BECOME NECESSARY TO GUARD THE FOOTINGS AGAINST ABNORMAL MOVEMENTS.

3.2. WHERE MORE THAN 10% OF THE EXISTING TREE ROOTS WILL BE DISTURBED / REMOVED BY THE NEW EARTHWORKS, A QUALIFIED ARBORIST WITH AQF5 QUALIFICATION SHOULD BE CONSULTED REGARDING STABILITY AND HEALTH OF THE AFFECTED TREE PRIOR TO UNDERTAKING THE EARTHWORK.

3.3. WHERE TREES AND OVER GROWN VEGETATION IS REMOVED ALLOW A PERIOD OF ATLEAST 3 MONTHS FOR THE SOIL TO REGAIN ITS NATURAL EQUILIBRIUM MOISTURE BEFORE CONSTRUCTION OF FOOTING.

3.4. ALL SOFT AND HARD LANDSCAPE SHOULD BE IN ACCORDANCE WITH THE GUIDELINES OF:
i) THE LATEST BSA SUBSIDENCE POLICY
ii) CSIRO'S FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE: A HOME OWNERS GUIDE AND ALL LANDSCAPE SHOULD BE CERTIFIED BY A ARBORIST WITH AQF5 QUALIFICATIONS.

Index	Description	Approved by	Date

ELITE CIVIL ENGINEERS

Elite Engineers Pvt. Ltd
Civil & Structural Engineers

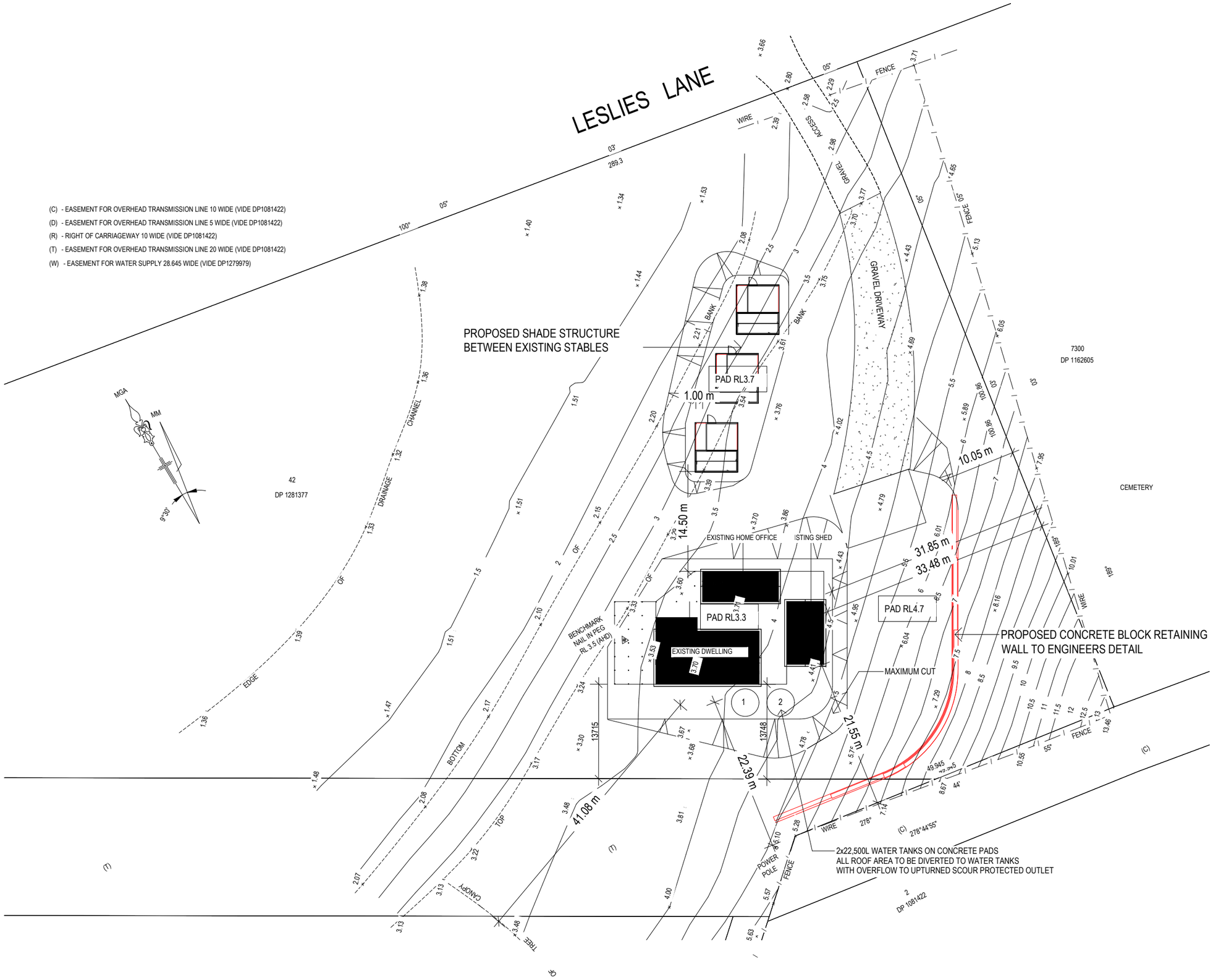
CLIENT: -

PROJECT:
BLOCK RETAINING WALL
MITCHELL'S ISLAND NSW 2430

JOB NUMBER		SCALE	THIRD ANGLE PROJECTION
FV 036	A3	N.T.S	

DRAWING: GENERAL NOTES 01

REV: 0



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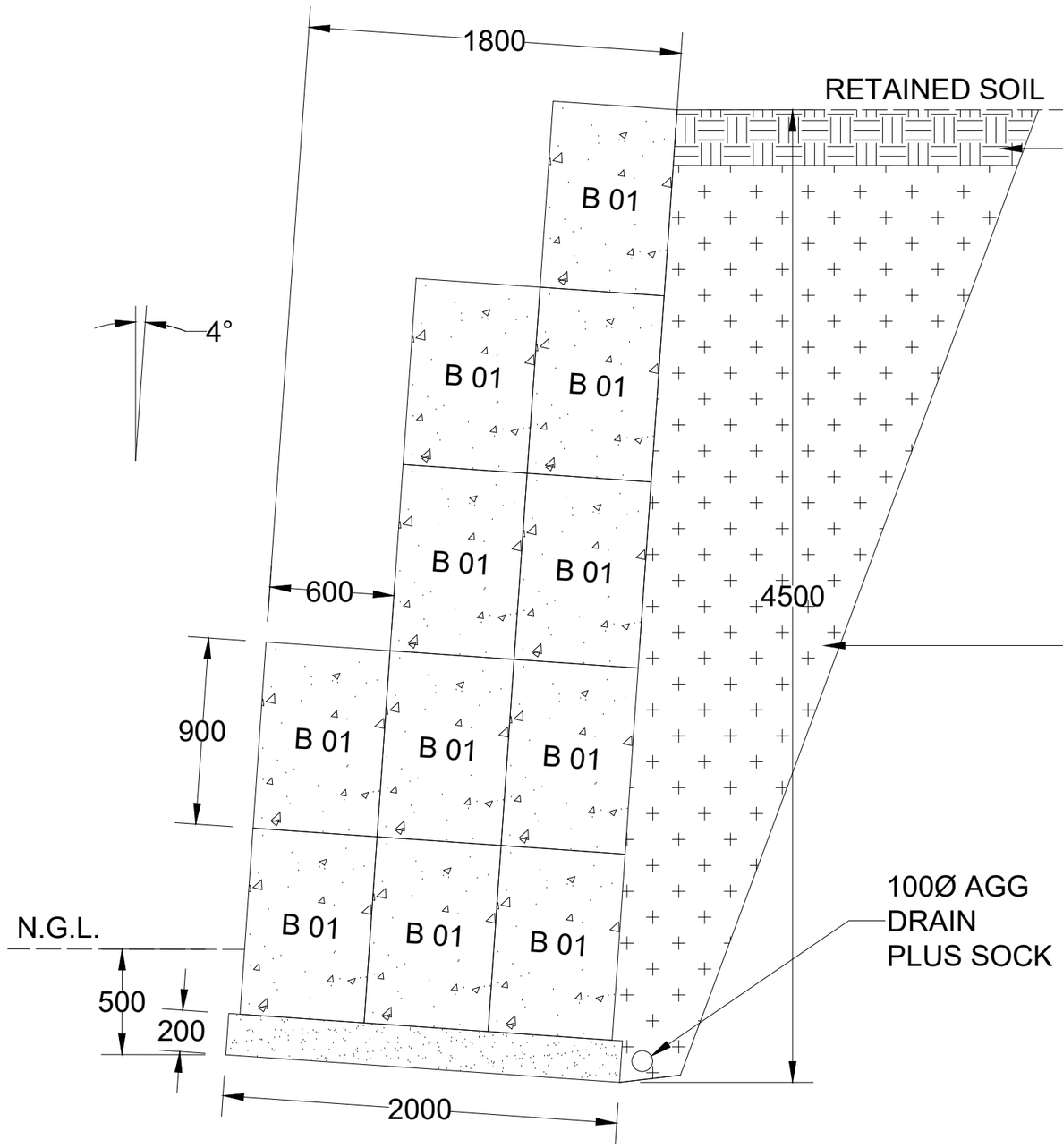
JOB NUMBER	A3	SCALE	THIRD ANGLE PROJECTION
FV 036		N.T.S	

DRAWING: RW LOCATION

REV: 0



LEGEND:
B 01 - 1.1 TON INTERLOCKING CONCRETE BLOCK (900 X 900 X 600)

NOTE: BASE BENEATH THE WALLS COMPROMISING WELL GRADED GRANULAR MATERIAL AS SHW TYPE 1 COMPACTED IN LAYERS N/E 150MM THICK TO FORM A DENSE STABLE MASS

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Civil & Structural Engineers

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JOB NUMBER	A3	SCALE	THIRD ANGLE PROJECTION
FV 036		N.T.S	

DRAWING: RETAINING WALL

REV: 0

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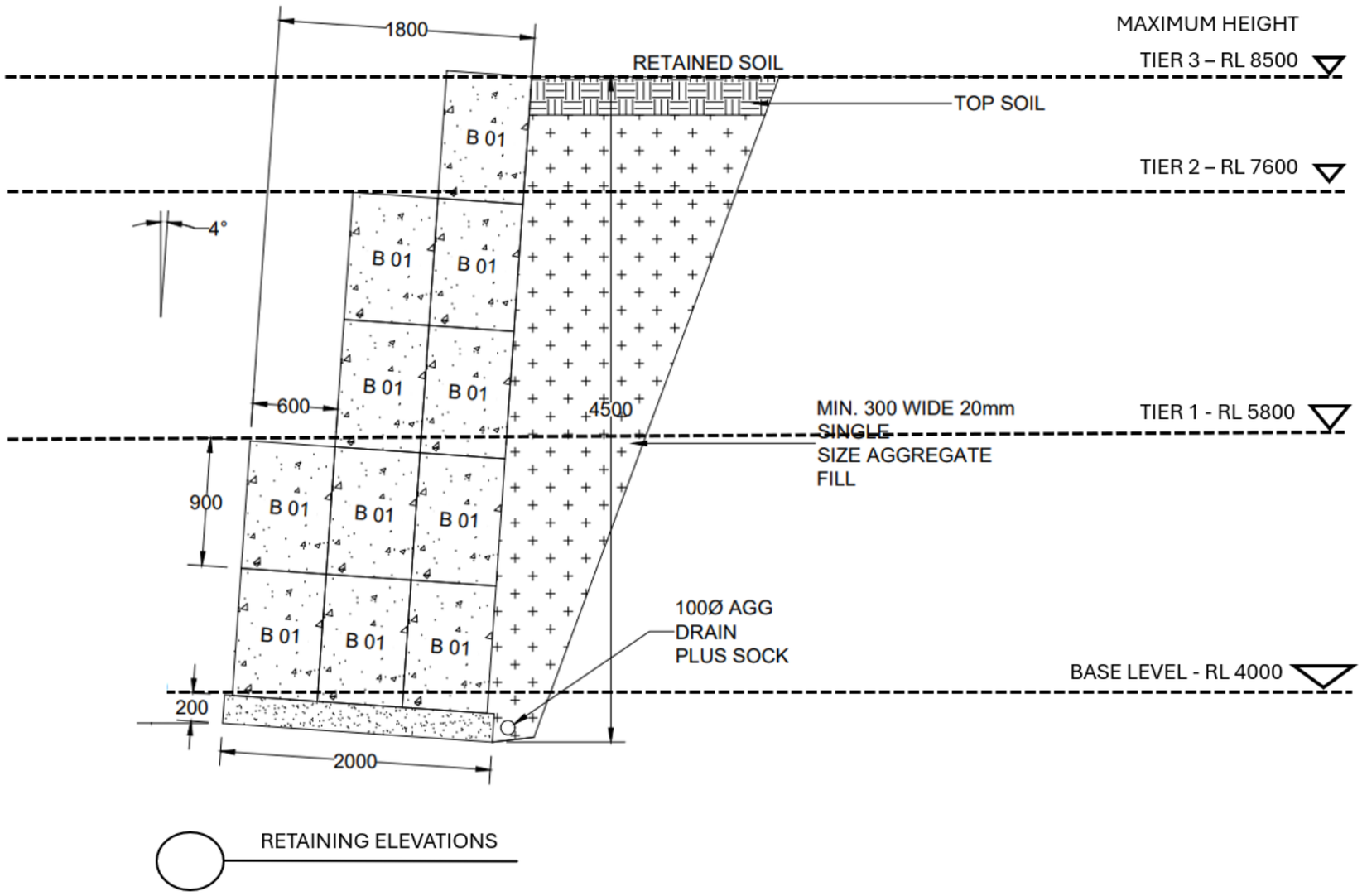

RETAINING ELEVATIONS

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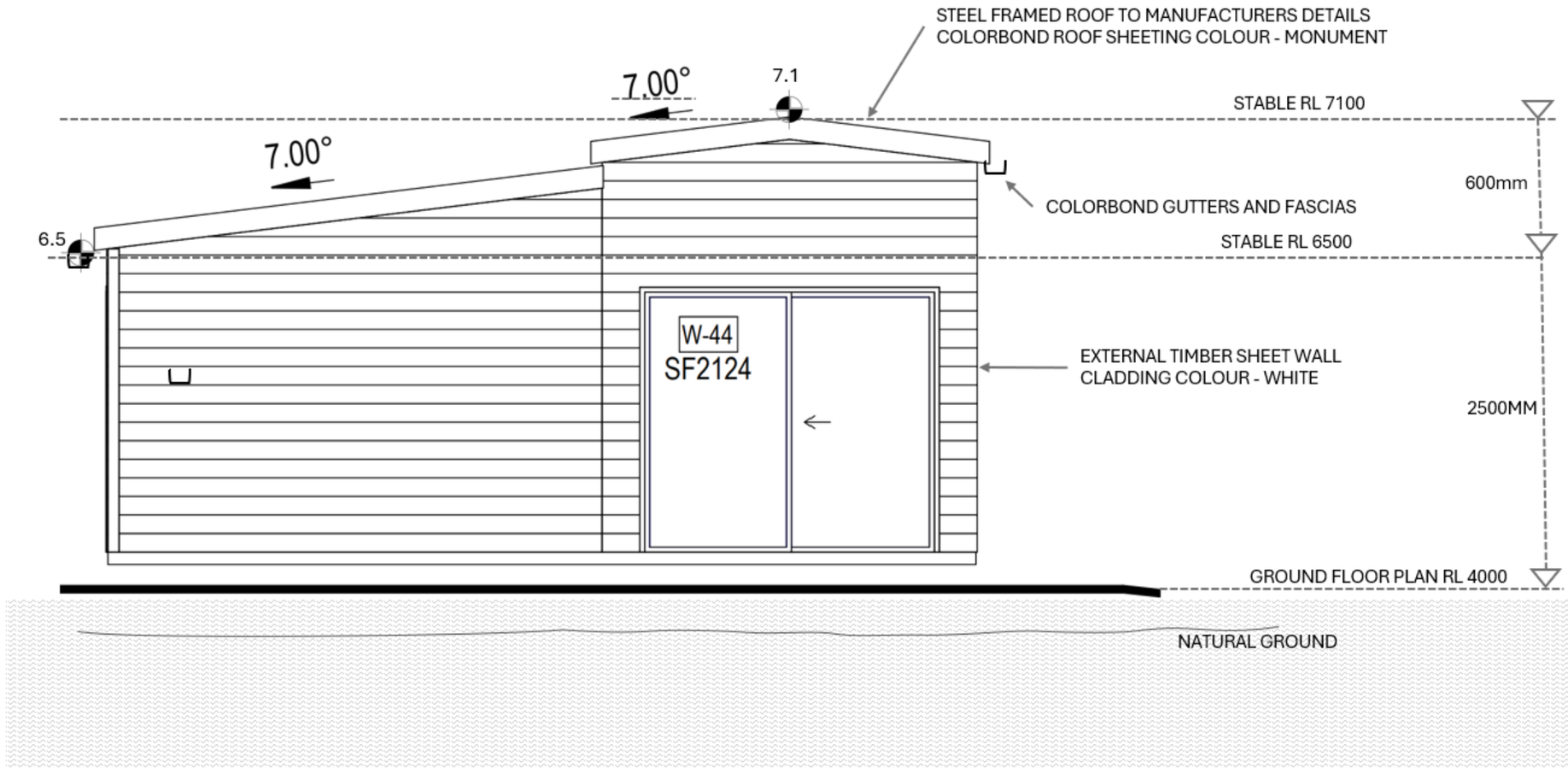

4 NW-Stables Elevation

Scale 1 : 100

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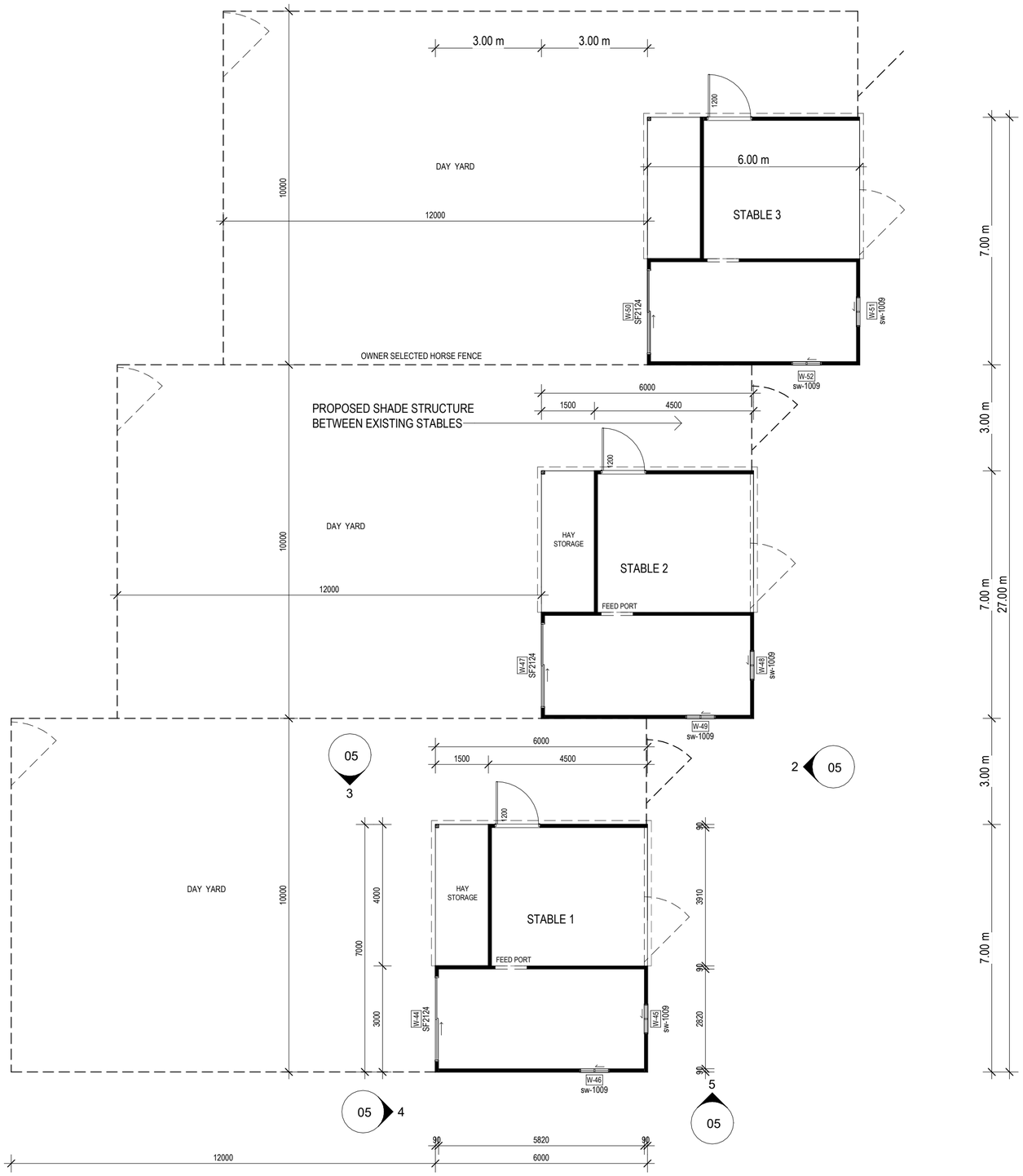
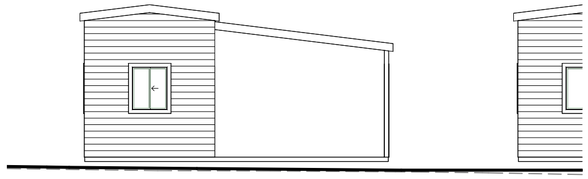
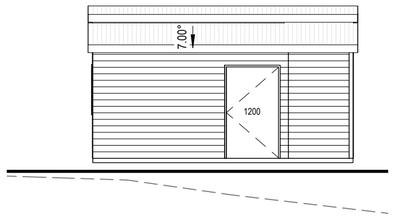


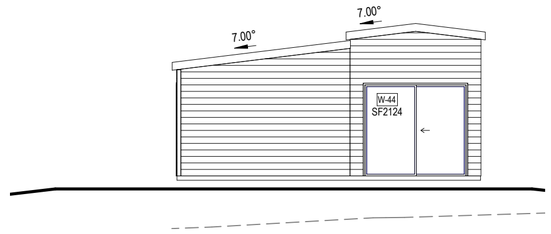
1 Stables Floor Plan
Scale 1 : 100



2 SE-Stables Elevation
Scale 1 : 100



3 NE-Stables Elevation
Scale 1 : 100



4 NW-Stables Elevation
Scale 1 : 100

5 SW-Stables Elevation
Scale 1 : 100

Rev	Amendment	Date

JAKE JOHNSTON BUILDING DESIGN

JAKE JOHNSTON BUILDING DESIGN
MOB:0402689260
EMAIL:
jakejohnstonbuildingdesign@gmail.com
33 BISSET STREET,
EAST KEMPSEY, NSW, 2440

PROPOSED DWELLING
FOR THOMAS WORTH
AT LOT 42, DP1281377
24 RUPRECHTS ROAD
MITCHELLS ISLAND,
NSW, 2430

STANDARD NOTES:
ALL ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEERS DRAWINGS AND ALL OTHER RELEVANT CONSULTANTS DRAWINGS.
VERIFY ALL DIMENSIONS BEFORE WORK COMMENCES.
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT CURRENT AUSTRALIAN STANDARDS AND THE BUILDING CODE OF AUSTRALIA UNLESS OTHERWISE SPECIFIED.

BASIX CERT. No. N/A

TITLE STABLES FLOOR PLAN

PLAN SHEDS & RETAINING WALL

DATE	05/03/25
SCALE	1 : 100
DRAWN	J.A.J

JOB No. 353-JJBD
DRAWING No. 05